

City of Charleston

Design Review Board

January 17, 2017

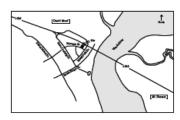
Agenda Item 1:

20 Fairchild Street

Request preliminary approval for new construction of a retail building as per documentation submitted.

A RETAIL FACILITY FOR SFD UNITED, LLC





VICINITY MAP

20 Fairchild Street TMS 275-00-00-269 / DI-TC Berkeley County "Daniel Island" Berkeley County City of Charleston, South Carolina

PROJECT CONSULTANTS

GENERAL CONTRACTOR

ARCHITECTURAL FIRM

LAND SURVEYOR

LANDSCAPE ARCHITECT

STRUCTURAL ENGINEER

ELECTRICAL ENGINEER

PLUMBING ENGINEER

MECHANICAL ENGINEER

CODE RESEARH CONSULTANT

CIVIL ENGINEER

PROJECT INFO.

SHEET NUMBERS

A-50 Building Service A-40 Well-Services

CODE CLASSIFICATION OSHA ADACHAPTER & CLASSIFICATION

Takin 1963: Albewalds Area Paster in Square Port, non-sprinklassel, Type IES. 12,900sf

Section 1909.3.2: The requests, in inches, of means of agrees components of by anticiping the componit and correctly made component by a more of agree component. For Unit 121: No. Per Unit 221: No. Per Unit 221: No. Per Unit 221: No.

CHAPTER IS ACCUMENTALITY

CHAPTER A. TYPES OF CONSTRUCTION

DRB Set 01/17/2017 - Preliminary City Project ID# XX-Futchild St.-1



SUMMARY OF WORK

The project is a mined use project consisting of offices on the first and second floors and two residential units on the third floor.

CONSTRUCTION PROCEDURES

Provide administrative coordination of all work, including trained, qualified employees and enhoustraction, and expensionly personnel. Submit exhebits of values. Submit payment request procedures. Provide to the Architect and post at the construction site, a phone and address list of individuals to be poir in the construction size, a proces and natives an of intervisions to be contained in case of ensurgance. Keep all work cleans and well protected from dri, weather, theft, and demany. Keep construction size in a clean and tidy manor. Some construction materials within the property lines. Construction size shall contain a commental dempire, a childhoid job tolict, and composing

CHANGE ORDER PROCEDURES

Changes in the work may be required which will be authorized by a Change Context Change Coder procedure able to an advance that of context of a Change Coder procedure able to a follow. The Change Coder will be described, diagnosed, and collined by the Architect. The Contractor shall substite Change Schott The Architect, if agreement, and collined to contribute a Change Coder The Architect, if agreement, and issue a Change Codering and by both the Owner and Architect. No changes work will be commenced without a signed Change Coder. Change orders will be manufacted in sequence and dated.

SUBSTITUTION PROCEDURES

Provide products from one manufacturer for each type or kind as applicable.

Provide products selected. Conditions for substitution shall include a entertantial advantage to the Owner in terms of cost, time, or other valuable consideration. Substitution shall not be allowed after approval of materials or products due to delivery times unless Contractor can document that orders or made in a timely manner

CUTTING AND PATCHING

Out and patch as required to complete the work for visual quality as directed. by the Architect. Col. and putch with care to avoid demage to existing work, safety hancels and violation of warranty approximants. Perform work with workrass stiffed in the tandar travbed. Pregna mapped was of earlyge of work for approval. Protect objects with from demage and offer For citing work, are propored. Protect objects with deposit patch. While and bolism for work, are propored critical tools, and theyping tools. While and bolism formers. masony. Minimize demage to adjacent work. Check for concepted utilities and structure before cuting. Make patches, some, and joints damble and incomplement. Telerances for patching shall be the same as for new work.

CLOSEOUTPROCEDURES

The following shall be provided or performed for substantial completion: Completed punch list and supporting documentation. Signed warmeries. Companies practs for non-supplement questions and military companies are required. Companies practic fibres governing agencies and military companies are required. Change and massive officed and losys. Final payment required with supplement affiliation and reluxes of films: Orangines all regards, cell-backs, corrections, adjustment of equipment, final clustering, and final lossels—spectrum from the job that all local and equipment, angine materials, equipment, except and design job that all local and equipment, explain materials, outpress, except and design and the spectrum of the companies of the companies and the companies and the companies and the companies are companies are companies are companies and the companies are companies are companies are companies are companies and companies are companies are companies and companies are companies are companies are companies and companies are companies are companies and companies are companies are companies are companies and companies are comp Impact exterior and interior markets and remove all wasts, paint droppings, as approved by the Owner to enable Owner to accept a completely clean Wo

ASTM C216, Grade SW, Type FBS, Size: Modular, 2-14 inches high x 7-59 inches long x 3-59 inches thick. Submit samples to Owner and Acchinet for

Ties shall be#315-C Screw -On Ancher Strape with #316 Triangular Ties, as manufactured by Heckman. Space at 18°cc each way maximum.

ASTM C270, Type 5.

METALSTAIRS

As shown on drawings, Sheet A-4.2. Fit and shop assemble components in largest practical sections, for delivery to site.

Fabricate components with joints tightly fitted and secured. Continuously weld connections. Welding to conform to AWS D1.1.

Gaind exposed joints finth and smooth with adjacent finish surface. Supply components required for suchorage of fibrications. Fabricate suchon and related components of sums material and finish as states. Finish as follows: Surface SSPC Cleaning SP3 - Power Teel Cleaning, Application: One cost Sherwin Williams All Surface Enumal Primer, Two costs Sherwin Williams Super Point Later, High Gires Examel, follow costing manufacturer's instructions.

EXTERIOR HANDRAH, SYSTEM

Provide aluminum perch miling as shown on the drawings, see sheet A=4.3, as manufactured by Hansen Aluminum Picket Railing Systems. Firsth shall be black powder costing.

UNDERLAYMENT MATERALS

Provide Advantach Flooring, 7/8" Performance Category, manufactured by Buber Engineered Woods LLC, Charlotis NC. Fusieners shall be Type 304 stainiem steel or Hot-dip zinz costed, ASTM A153/A153M , as recommended by Huber. Termite shield shall be copper.

WOOD TREATMENT

Wood treatment shall be Copper Andis presents treated in accordance with requirements of ICC Evaluation Report ESR-1721

WOOD AND ACCESSORIES

Provide and install materials as shown on the Construction Documents, applicable trade standards, or approved samples. Provide wood free of significant defects or destations from grade standards. Provide samples for Owene's selection.

Decking shall be Ips wood by Plans Hardwood, Inc. 800-662-6306. Size shall be 5% x 6. Installation shall be with a stainless steel clip system utilizing a grooved edge. Follow manufacturers printed instructions. Finish with outdoor UV meistart first) as recommended by manufacture.

PINISH CARPENTRY: EXTERIOR WORK

Protect navely cut wood with prime cost or preservative treatment on six surfaces prior to installation. Protect with preservative all wood in contact with macrony

PORCH AND DECK CEILINGS AND EAVE SOFFITS Shall be Boral TruExterior Trim bendhourd, 50° x 5 %".

Siding shall be Boral Trulintation Nichal Gap Siding. Install according to manufacturer's printed instructions.

Trim materials shall be Boral Traffeterior Trim. Install sines as shown on the drawings. Provide Wasted thickness by since aboves at flucing and trim areas. Blocking shall be Bond TreExterior naterials at thicknesses shown.

Provide both glass fiber but and glass fiber loose fill insulation as manufactured by Owene Corning. Bette shall be least faced ASTM C665 Type II. Class C. Loose fill shall be ASTM C 764, Type I or Type II. Install R-values as: noted on the drawings. Install according to manufacturer's printed instructions.

ATD BADDIED ASSEMBLY

Provide combination of sir burder materials and sir burder accessories to act as a continuous burier to the movement of air though the environmental separator.

Products shall be as manufactured by WeatherSmart of the Fortifiber Corporation. Install according to the manufacturer's printed instructions.

Roofing shall be standing seam metal. Metal shall be steel sheet, 55% abunitum. Rooting shall be standing users ment. Metts shall be statel thest, 50% attendance clear, allow-control by the hot-dip process. Finish helds be high performance ensured costing, color to be sale-sized by the Owner from macraticizates full coloring a Underlanguar shall the ARTM DESS, No. 30, non-performed, buttall ridge brand ridge vester at all ridge. Permit measurisationer's 15 year wazarsty providing coverage against mapters, performing, or structural planes of standards-size effects of the control peaks. Rooting shall be similar to found Clad Peaks by Petamen, Ridge Veste by Samp-Clad, Installation shall be according brandinistion shall be according to measurisation or period interactions.

Exposed flushing shall be corper: 16 or./eq.ft. cold-rolled copper, ASTM B370. Flushing at noof-quiter shall be some material servorting, heated according to menufacturer's printed instruction.

DOORS & WINDOWS

Doors and windows shall be an manufactured by Sierra Pacific and JeldWen doors Fibergians Cled brand on the Francism Fibergians, Architectural Collection Designated be curron designed as shown on the elevations. Manufacturer shall famish shop drawings. Color of doors and windows shall be as selected by the Architect Installation of doors and windows shall be according the manufactures printed instructions. Flushings shall be so designated by the air burier assembly

Provide allowance for full installation of hardware. Provide samples and cate

GYPSUM WALLEOARD
Oppmen bond shall be manufactured by United States Oppmen. Oppmen bond
shall not be manufactured in China. Oppmen bond on exterior with shall be 50°
type AF. Oppmen Board for intuition walls and cultings shall be 10°.

Provide color chips and finish type samples for Owner's selection. Pinishas shall be therein Williams recommended three cost systems for the appropriate surfaces. Provide military resistant additive. Submit finish systems to Architect for approval.

TOILET ACCESSORIES

As manufactured by Bradley Corporation: Trush and wasts, Model 325-10. Grab bars, se allows on drawings, Series 812-2. Soup dispenses, Model 632267. Mirror, Model 781. Tolist tiseus dispenser, Model 5402. Nepkin disposal, in each women's, Model 4732-15. Hook and bumper, Model 915.

PEST CONTROL

Provide part control as required, during construction, to provide a termite bond.

PERMING

See plambing specifications.

MECHANICAL HEATING AND AIR

See machanical specifications. Provide vibration isolation curbs at rooflep mechanical units manufactured by Thylar Corporation. Install according to manufacturer's printed instructions.

REJECTRICAL See electrical specifications.

COMMUNICATIONS

Contactor shall notify Owner in the time for installation of rough in for any communication or security system as may be required by Owner and ten ante. Allow access to the Owner's or tenant "a contractors

END-OF SPECIFICATIONS

RCHITECTURE は無機を持ち



Fairchild Retail 20 Fairchild Street "Daniel Island" Charleston, South Ca

225 SFD UNITED, LLC

666 o ---BOOD COMMON TO

GENERAL SPECIFICATIONS

01/04/17

GS-1.0

CODE CLASSIFICATION

City of Chertesia, Sestriny County, South Condine, Deniel Stated. Site-sound D1 - TC (VC), 15,613nf, Building 19,363nf grow.

CHAPTER & Threat Company Chairlesian Bubbley is mission on

Service 204.1: Print and Second Phone Statutes Group S. Office, Professional or Service Type

Person 710 1: Third Floor Senidential Group S. -2 Elegang units, primarily personnels in nature

Systim CD: Supersion of S. C companies and S. C and S companies, fully sprint and Telephone Companies, deCitie Henry Entire CC: 5: Oraș II, rengenies dell'he spippel Denglant with as salandie gridde orane

Pertine FOX 2: Misted on regardy of Dain dructure, some exceed the limits of this Deckon.

Tritle 104.3 Alloreble Height, Type IE St, St company, 15th maximum. S.2 company, 5150, quintiered, 408 maximum Single of St company. 200 alone grade Height of St.2 company. Difference grade, to top of building

Table 104.4. Albertable Munice of Bories. Alberta Osela, Type 123, S company, 4 stories. Type 3.-2 company, 4 stories.

Trito 106.3: All residuanes, Type III S.S. company, 10,000 of maximum. S. J. company, 2110. symbolomes, 16,000 of maximum.

Sertine PCLS 1.2 Sprintber in S. - Georgeoup shall be PSSs. 118 sprint.

Table 601 New Residence Rading Requirements Type 1228 construction shall be stakent.

Extende bearing small shall be I have rained. Other elements are Olivane.

Pertins 603.4.1: Zier ertanbet wood in permitted in exterior walls of Type EI construction but

Dertina 2012: Projections Fire Separation Distance is more than 200.

Deting 70.33 Projection from red to d'Ope SE contraction dell be of my approximateir à

Table 700.6: Maximum Area of Extends Well Openings Board on Fire Departure Estature, distance is greater from 108, No Limit.

Settion 713.4: Shall renderer on shall have a live resistance using of not less than I have where connecting less than live stories. But it renderers shall have a live resistance using not less than Our Boar second (pymeteries), () hour) but need not second 2 hours.

Sedim 1004 Compani Lond. Table 1004 LD: Maximum Floor Arm per Compani, S. company, 1984 gross, for Floor Floor. the congests, Second Flore 65 conquests. R.-2 con-spaning 300st green, Unit 700, 17 compasts, Unit 700, 16 compasts, 16 compasts, 16 compasts

Sedan 1995.3.1 : Salesty reperty. Super compant.
First Floor, not best Sen.3.2 in. Served Floor, not best Sen.33in. Third Floor, not best Sen.43in.

Trains 1964.2.1 Exception, in Dany S. 2 congenium, one seems of agree is greatled within and from interitable defining under the anatomic compact lead of 2 Or start to sharing under the sharing and the orange of the common pain of agent leads do not do not be a sufficient specifier system and the common pain of agent leads do not be a set of 120 feet.

SECTION 1009: ACCESSIBLE MEANS OF EGRESS

1999. I Accomplish memor of ogners required. Accomplish spaces shall be provided with anti-less than than one accomplishments of agrees.

1000 5 Bahways. In order to be considered put of an acceptate means of agrees, a stairmay between during the Flavor a clear width of 45 inches nationally district backwidth and their incorporate as are alsology within an enlarged floor-lard landing

SECTION 1001:STAIRWAYS

ESCEDON 1011.52 : Sizer leight and local depth. Bair marke ights shall be 7 makes maximum. Berlangsile: Irrad depths shall be 11 butter minimum.

States 193.5.5.5 : Rises shall be sold.

Station 1974.3 Mandell bright, measured above dair break sorings shall be uniform, not bee from 1% inches and extraore Gan 38 holies

Station 1888.4 : Opening limitations Sequind (sendrall) delited here opening that after printing of a sphere district in disorder from the malking surface in Computed Sandral (single.

Entim 1994.21: Both trees for multiple leads. When more than non-lead complex any one flow of a building or devotes, such leads gare, for day and and display and shall or provided to be used to Committee with visited peacing formula of jurisditional spaces, in village sets and daying sets.

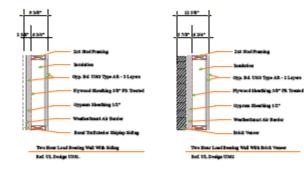
Takin 1977 2: Exit Access Transi Distance, S company, 2008, E company, spinisheed, 2008.

CHAPTER II: ACCESSIBILITY

Section 1197.2 : Design Studings and furthfree shall be designed and constructed to be according to accordance with this code and ECCATER.1.

SECTION 2902: MINIMUM PLUMBING EACILITIES

Table 2005.): B company. Waier doords, I per 20 for the first 50 and 1 per 10 for the renaisslar more 10. Landovin, I per 40 for the first III. Desting Standards, I per 100. Service sids, 1.



TWO HOUR EXTERIOR WALL DESIGN FOR TYPE HIB CONSTRUCTION



RCHITECTURE

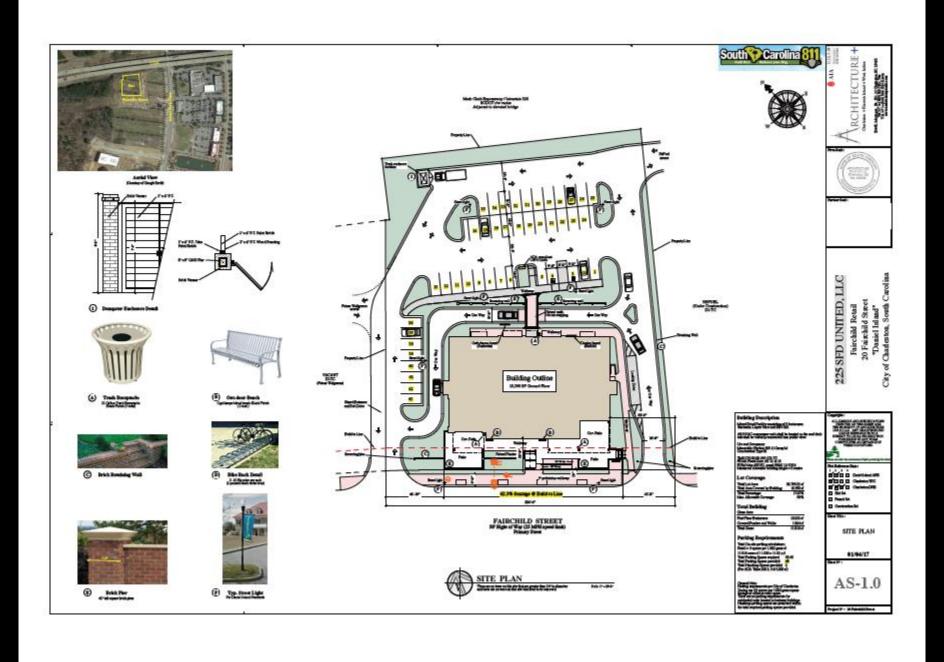
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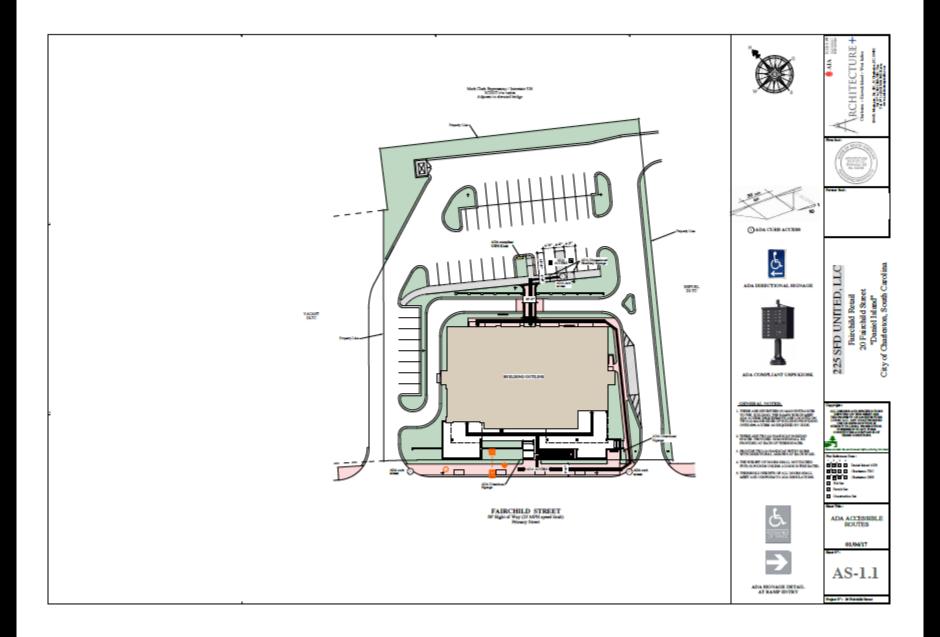
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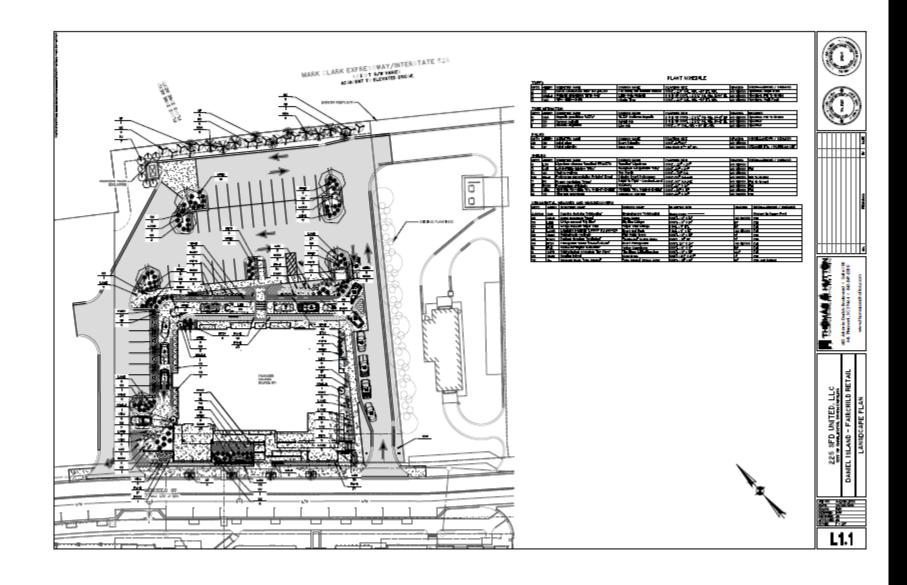


GS-1.1

Project Tr. M Patroliff Broad





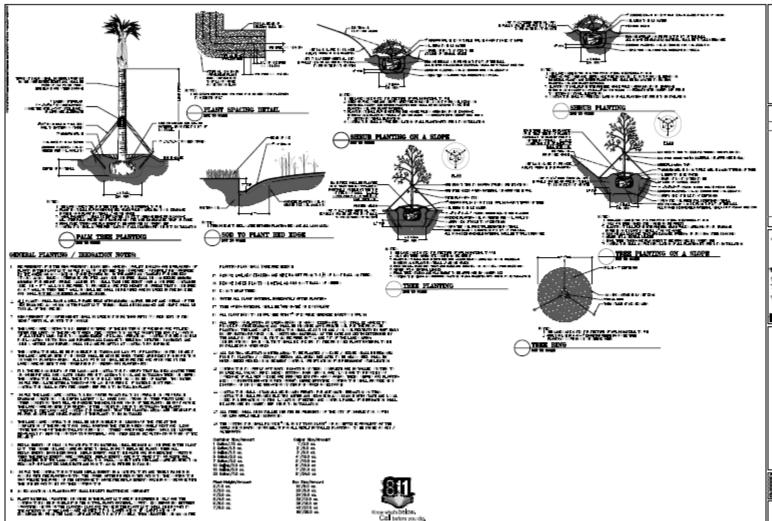




THOMAS & HUTTON

DANIEL ISLAND - FAIRCHILD RETAIL









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001 48 CEO THE MANAGES March Dobb Bodes Pegor, 302564 È

> RETAIL UNITED, LLC



PLANTING SPECIFICATION

LANGUICHTERS

PART I - GENERA

1.1 DESCRIPTION

- The san's consend in this service condits of and proporation, fine greating, forces, here, deals and ground cover plantings, that projection and mainlaneous of planted once will acceptance.
- 1.2 STANDWOOD
- A. Der Old und Leedunge plans und specifisation

1.8 GRADY ASSESSMENT

- Standards: All seed, and, freed, shallowing ground covers shall meet or exceed the specifications of finders. Sharlow and it is recognitive to the control of the control.
- Plants and glaming methods that contain in the juisal action of American Devolent for Namery Stock, American Number & Landscape Association. ISSN Nament Avenue. NN, Suite SSN, Moshington DC 2000.
- Floris shall be true and express father of that genus, species, cultivo, or earlier. You are should express it is spicely a concentrative of the express of this spicely in a concentration of the terms of this spicely in the spicely in the spicely of the country in which it is given in the face produced and also express or the country in which it is given in their the produced as the spicely control in the discrete produced and are spicely as the spicely or the spicely
- One of each bundle or list shall be tragged with name and size of the plant is accordance with wheelings hashed in declarate. In all cases, instead of entered in lists periodicine decreases common survey, confidence on the confidence of the confidence

- Defer gran seed in original contributes deserting analysis of seed relative, percentage of pure seed, year of production, net subject date of posterging one boorder of posterging. Somegani posterges are not constraint.
- 8. belier for last in wolvepool togularing weight, chemical crales, and name of monutactures.
- C. Debenggongster.
- 6. Conding of glots shall be by ling the cost mount or combine and entitle (ling glots) to have a traverse. Annotes of glots in an impose matrix and is close to rejective or the material. Loss have be below adapted for the boston and discuss on the Cost on and the secondary of Cost or the Cost on and the secondary of Cost or the Cost on and the secondary of the Cost of the

15 PARTICOUS

- a. The gloring according to see, made and quantitioners is believed clother for our large for the sub-ring sets because the temperature student treating a clother student of the sets of the control of the control
- C. Reting date lands, pagging or wedlig that begow the ground predication.

LE MANUFACTURE AND PARTIES

- Magaziment The form brief in the proposal and the completed as softicent to complete the work in occasionnow with the stars and specifications. Are portion of the work not bleath staff two, but required to complete the work, that the determinal to be uponed of the large with which is the susceptibilities of the large better fire sound effective and the best failure.
- Powert Powert for the untimove on the six form and be considered to over the cost of all stoot, mointal equipment, and partnering of coercities recessor to conclute the wall in stoot. No poyment will be made for any instructivated, used to the corrections of the Colonialistic sources on registed.
- 1. Teas State, and Grandonius. Will be poly for of the contact and piles for planted half-and compiled two, states, and consolerance.
- Represents groupped be made per the group question to.
- 1. Quoting All by polition of the large samples for dealing.

PARTS - RECOURT

- Contractor shall of time of deliver, furnit Owner and For Condicage Architect with Involve of all models incontract this such as models and such as models and such as models.
- SE TONGS
- A. See fortiwest predication for topical/nectaons and predication

23 282

24 3760

24 900

A. See graving predication 24 PARTHADINA

- A. Periote of plant motering as indicated on the plans. In the event of any discognicies between quantities of plants indicated on the plant schedule and those indicated on the plant, plant quantities that gives n.
- b. Here the service leading and operation of process and developed the service of the Control of the service of the service
- Resk shall passes a record indexes instrume height and white. Resk shall be resourced when bornels are in that recording to the passes of small p

- C. Havis shall be dug with the noticed last, of earth, of dismater not has then recommended by timefroe Sensited for Middle of artifact depth is induced forces and having spots. Havis will not be computed from its modest or tension by ordering starting opportunity.
- C. Presuperited to Dear her Grade stall contains to constant of the ARLA:
- 1. Suitable for glanking as sheet hees.
- 1. These of bronches to accommend with of tengritton ground.
- 3. Grows of twe stell be in good to become in the bank.

az rozdára:

A. Commental Mellow shallow down those 2-10-10 or 2-10 tips corresponded by oil help, or there is competitive, then Everyon and soluble for application with appropriate equipment. Deliver to the unsupress to reconstruct devaluate and applications of the contract of t

A. Past was shall be firely described. 10% arguments was past, lower in radio and subside for hardward purposes. First shall be received in all the providing not many from MS moletus by weight. Advantant and native count NS.

1.7 MUCH FOR TIESS, SHRUSS, AND GROUND COVERS

- A. Make horse transfering some delicens done to place
- 8. Much for blo wiseful creating the shedded hordward.

A. Transport and a shallow desired as those in breakaness above.

Controller to provide personnel water to all planting via new trigation epides connected to provide water options. Any temperary watering resolved and be provided by the Controller and shall be consistent as included in the base bid.

page 1 , reprosition

- A case while print of control for the last repotent in the deletingment. A case while below of control for the last red potent free or one pasts of the red potent free or pushing or graphs or more control for the printing or graphs or promote, an excitate of a control associated to the or control section to the control associated to the control associate
- 1. Having and posed own if notices, that be bested in a minimum-depth of Ninches before tentiles, seed or sed in option

3.2 HERRING ON AND SHARES

- celor skyl provide logard Arabak lises that has been performed by a little Agricultural Experiment Delice, follows this territory of the provider Center, State somewhat, or other qualified private resting according to a opproved by Landscope Architect.
- Apply feelfler and adjacent ment of the producted only the forecast into appending to the forecast.

84 SPECIFIC

3.6 0100142

A See graving specification

3.4 SESTIMOSCOPICS

- LF SAFEUT OF TISS, STRUM, AND GROUND COVERS
- Alignet shall be placed to the proper booties on even on construction plant, alleving conducting whether to review all plant locations plants and all planting. Construings Architect may review when collections with the locations are all recognition.

14 CONTROPPORTION COOKS

- A. Pile is assembly placing take. Commune and alternate for many launtim of electrical phone, or indexism coulds or conduct, some storage or sown less, and no perfect actions are true procedure to protect them. Any comagn to ordinate and on appeal immediate for the controller oppose.
- b. In the error read, analogound conduction made or other obstactions are encountered in any start test exception under the content, discrete products may be referred these brookers comed be interested to observe in the material for the material to a final material for the material for the material for the product of the material for the material for the material for the material grows. The contrador shall be second for the world of such soci or the subsequent districtions executived.

no tree, study and graind cover the planting halp and the as shown on planting detail in the plans, bo not have planting take upon averaging. In the event that plant halps are stug and not passeted in a timely manner, halp have (b) foot high coverage onlysh favoring respond of exemptation reses.

- A. Deal is some or given in the numey analys consider softend, with a bottom oil on to have proper planting level with the propersal summaring grades. Clearly family in least proper varied of present.
- All rides to proper height to receive plant, and throughly tomp before setting the plant. Set plant in apright position in the center of the halp, and compact the books. Introduce about the fault or sook. Add all creentments or regulated to response.
- 4. When could not be become given on any common bound moved board and of a fig finish. A printing mail as removed contribution of mode amount from count or find of a fishibit instance informations to print our board on the mode and on the mode and on the mode and on the mode and on the contribution of the count mode and on the count of th

- Contribution (print) and trace the contribution encount print is providing. One shall be failed to provide and may been from the print of the entire in their first in consistent and encount integration or involved, then contribute in entire first interest in the contribution of the encountry of the encountribution of the encountr
- Rook of beganned starts shall be greated out and topod coasts weeked in energy from literary with a clean out, any house or broad stop.

1.11 FLANTING GROUND COVIDE

A. Herbig last ded just berough, subset is a single of holes (2) have becoming before and after all interventions of the commendations against the right had been progress globally but of final proofs and the forcid and final source, and are of the observable of the control end of the control of the control of the control of the control end of the control of the

ATT PARTY.

- A. Trinsignik water each plant when the hole is 10 kB, again of 20 kB and then complete bacofflag. Once bacofflag is complete, sorter gain, have large that of it places will the school of the bacofflag blaces half the convening ones and the plant bean income after only intrinsignity and the school of the plant bacon taken agreed and the plant bacon taken agreed page.
- toth reconstructed contribute about the perimeter of darking note of all their and all high attentions to the contribute of the retirement of the reconstruction of
- A fees and shuts to be hard watered on o regular basis or recessary during the warranty period.

3.10 HOLIST AND HOLIST AMENDMENTS / PRINTED IN

A. Sell mix and any recessary amendments, shall be withing topical and include recommended amendments from required sole

ATH HEMSELD OF THE PLANTS

A. Shell be done only if site / environment conditions make if required. Envauled, here and paths shell be indused as indicated on the Date.

A. All plant and be necked with an every third have of dare much immediate other proving. Was gird best and be consider in the fact in the section not be given on the gird. In the highly beyond the success the section of the gird beyond the success the section of the secti

also resolves A. Remove dead, boken or builed broaches sharpfartinguing dean sharp teds.

ATT MODBO

ATE MUCHEO

A planted own and be last the from weet-and undefaith grosss will find acceptance by the Gener, See General notes and are for additional information.

3.18 INSICT AND SERVICE CONTROL

A. Il derivativation for the efficiency or hand the upon soled to the the houseast, most lawy glovid new dispred trade or determine intentions. Conversion and control values of intention and solet in the condession American or proposed motion or common control to the control trade of the control tra

BUT CHARLE

Contracts because the temporary of true, state, state and of other restricts associated with the construction does no state costs. All true, true, and independ to a remarkable point continue. The site shall be left became been and first. Charmage of the device properties on the contracts to the Country.

THE R. MARCHARCE MICHAELER

ет мертионен

- a. Institut of planting izone, don't met heet und accepted to dever. All consign regardes of cause prof as investigate, excellent planting institut in fractions. The interesting the property transport framework interesting their protection is resided to present templog. Contractor is not assemble for registerated in framework in resident planting planting and planting planting and planting in the property of the control of the control of present planting and planting planting and planting in the property of the control of
- Marriance inclinates our since fined to worsing, weeking, cathoding, removed of close moterial, much recoglisation, marriag plant to proper growner update position, bow moving, fellibring, and other recession operations.
- G. The Controctor shall reach immediate any oreas demagned as a read of construction operations or enales.
- The Controctor that Proposed plantings will that acceptorage is trued by the Dener.
- All file serior for embinances perior in physicals in in a harby granting condition. During the administration part of the contraction of the color fooders screenes and protection of that, immediately adjust advantaglous and the coverage of the coverage of

AT MARKETY

- A. All thirds, gound caves, and free and be guaranteed by the Contractor to be also and heality for a one year petit other authoritid compartment second by the Chemic. A that respection with the Denier shall be conducted of the end of the watering partial to interiorized any place with all the explaint in the response.
- Any benuglant, or the which is dead or not showing solidations growth shall be registed of Contraction expense of the end of warrants period. All registerments shall be of eights apply on of or other egad to object or gloring these of the some sind.









TANKE.

UNITED, LLC
since sociations
- FAIRCHILD RETAIL
SPECIFICATIONS

22



GRASSING SPECIFICATION

- Seeding, ploriting grow, and fertiting graded areas around tolkings, dructures, social fields and adjects shooties and other distributed areas.
- C. Maintaining grower areas until thick acceptance

A. Chil and Landscape plant and specifications.

1.2 DELIVIEY, STORAGE, AND HANDLING

- A. Deliver grass seed in original containers showing analysis of seed mixture, percentage of pure seed, year of production, net weight, date of packaging, and boaton of packaging. Damaged packages are not acceptable. Store in coal, by locations away from contaminants.
- Define fertiber in waterpoor bags showing weight, unerroad analysis, and name of manufactures barraged bags are not acceptable. Store in cool, any locations away from conformation.
- C. Deliver and on picters.
- B. All material shall be acceptable to Engineer prior to use.

a. The specification provides for edicibilities of a permanent grow cover between the cather of learn's and beginning still if transectionth grade are not comprehend in time to permit pointing and edicibilities of permanent grains during the boronizes expend to between closer specified above times otherwise accepted, Contractor will be required to point a temporary cover for protect new graded areas from erasion and to been windborne dust to a minimum. The temporary power shall be provided between Optioner 1 and February 28 unless otherwise

THE MEASUREMENT AND PATAMENT

- A. When the section or stage of project is such results of growing work control the determined, conditional acceptance will be made on work comparted. When conditional acceptance is made for terms. of work covered, Contractor shall be writted to 30% of 645 price for the action work placed and shall lead we environg 30% of fair price when that acceptance is made. Conditional acceptance shall not apply to the ternating betts of work, and that fair price payment shall be made when work is acceptably proced and comparison to accordance with specifications.
- Powerful for growing will be made of control unit price for the term "bisseling" and such p-shot conditive the compensation for furthering and posting used and settlem or said directled and protecting and mathematical earlier and soft in dispated and distribute areas.

PART 2 - PRODUCTS

Contractor that submit scorce and species certification documents to frightee and Ownershapmentative for leview prior to instatation. Suggry complete information on all aways; / text representations for street statements and an experimental street street and section of the street st

- A. All seed shall continue to all State Last and to all requirements and registrations of the State Department of Agiculture.
- the voleties of each or specified in Section 2.2, draft be inchrossibly poolinged or bagged, or largued to show nome of each, set weight drafts, gentification, for number, and other informatis required by the Stote Experiment of Application.
- C. The singment receives the right to test, reject, or occupit all seed before seeding.

360	BASE	SANSHI CASS		
Princes 77 Remodo	25 by one	March 1 - September 30		

Commercial fertible of opproved type, conforming to state terrible lose of the rule or recommended by site feet.

A. Agricultural grade, ground threefone of the rate or recommended by soft feet

2.5 1780

withy hing stems, statuse, or intrones and officially officially adapted grass without adhering and including two to three roots and from it to studies long. Obtain from heavy, dense certified

(cd. Frolder using which have been grown under directly conditions shall be from to those in the scottly of the project. Considerate harvesting and planting operations to prevent exposure of stigls, to the will be from the control operation before covering on mobiliting logic involving upon exits given a visit, exict, concluding veests or other definential motivation of that are free? compared to the specime.

- b. The volation of garge or specified in rection 2.4, most be trichidually poolinged or bagged, and logged to show notice of garge set weight, origin and other intermedian required by the State Department of Agriculture.
- C. Sprigs shall be pure to variety specified and shall be fee at other gross species, weeds or tareget
- D. Sprigs that be harvested by digging (not collected above softlevel) streading ead, by solotting soc and racing, by vertailting or by a gang harvester. Sprige eval consist of mostly itsomer and province with only a few green tectives.

A. 1990	600	PLANTING DATES
Theory 41 P Bermucks	1,000 bushels / ssc.	April 1 - August 31

Statistics also with temporary grass seed

It dear where eating graw is to be matched. Contactor shall uping of the rate and done recommendation gray districtor.

September 1 - March 31

- a. Soot that the previous grade, devolve notified good quality grass of the species and certified vallety as down on the plant, the from history exhibit with no actions at being white, the such shall be obtained from cases where the silk interconsisty first the old of planting depicts with critical small. If you can be not the planting the previous section of the planting grant plant, and as that the planting the planting the planting that the planting the planting that th
- Retire outling, and shall be moved to a height of not less than 1-1/2 or more than 2. Sac shall be out its anticonvertie into 12 and in lengths min. St tracks. C. Sod shall be delivered to she in a hear, most condition with healthy green brings. If shall be unrounded
- from definery flyaxs on patient or rate and placed in that position within 3s hours of definery. Said shall be protected from what and sun and shall not be allowed to ally our before planting.
- Sod shall be thong enough to support its own weight and return its size and shape when superided vertically from a firm group on the upper 10 persons of the section.

- Stow Malate Craft or wheat show, reconstary tree from weeds, to sign matter defined to point the and in division of the condition.
- Science touch. Science much shall construct wood fiber, out from word, green those overage ength of fiber shall be 4 to 4 horses. Out shall be made th such a motiver as to pr maintain drength of their, but at a signt ungle to natural gran of the wood to cause splintering of fibers when weathering in order to provide achievence to each other and to soil.
- C. Hood celevate their shall be mode from wood only portione manufactured particularly for discharging uniformly on the ground notice when depended by a hydroutin worke propriet. It shall security in notions appeared in evolve mode applications and leave they provide the time of lateral to form a homogeneous starty. Most in time with interleting proposity is been a shang markets boddy and in the ground various and other interleting personal end only when the encount. shall be feed processed to contain no germination or growth-traditing toutors. If shall be dijed promitosic) on oppropriate color to facilitate metering of material.

17 PRODUCT BIVING

Contractor that provide the lingitiesr with a complete decorption of all products before ordering. The lingitiesr with seview of products before they are ordered.

PART 3 - EXECUTION

- Area to be readed or tpligged shall be made encoth and uniform and exist contain to the triated grade indicated on parts.
- 5. Remove takegn materials, points, roots, stones, and debts from sufficients be readed
- Strong creat, if not book shall be booked to a minimum depth of 3 transcribefore tertitor, seed, upig or said applied.
- D. Amendment to solt and be incorporated this locamed 3 truly top solt layer as recommended by solt

3.2 STAND OF GRASS

- A. Batter acceptance of seeding or sprigging is performed for the extratory-market or permissed superformance with a required to procline a softwarding data of permissing pass whose soot system into the controlled entitled by to written day periods and white vectors and be cognitive of the extratory-market impring.
- Refore acceptance of reading performed for the extoderment of temporary vegeration, Contractor will be required to produce a stand of gross softward to control ecopic for a given area and

1.1 SHIRRO AND SPROGRED DATE

A. Seeding and upligging shall be performed during people and of rather specified is that respective scheduler. Seeding and oppging work may, at discretion of Contracture, be performed throughout the year using schedule prescribed for given people. Seeding and origing work shall not be satisfacted when the ground is false or exceeding over. Contractor of the regulard to produce a satisfactory stand of gross regardess of the period of year was it performed

following advance preparation and placing seached material for shouldes and stapes, line and territors, if called for based on soll tests, shall be spread uniformly over the designated areas, and shall be thoroughly mixed with the soil to a depth of approximately 2 traines. Fertible and time and be applied at the rate of the rate recommended by regulard soils test. Unless otherwise provided, the will not be opplied for temporary weeking, in oil cases where productions could be a provided with the country weeking. In oil cases where productions country executing without contributions of the country of the coun necessary. The tertition and seed that be applied together when Wood Cellulos Ricer Malch is used. My clother larger than 2 to bother in any dimension, stager closs, rook, or other destributional for the surface death to encover.

- A. Seed shall be some within 18 hours following application of feetber and time and preparation of the sectional or specified in school is 1.5 section 1.5 sect
- Seeds shall be covered and lightly compacted by means of catipocater or light roler if the diff dises not perform this operation. On slopes inocceptive to compaction equipment, the seed shall be covered by dragging spilled chains, by light harrowing or by other satisfactory methods
- (). Do not sow seed when ground & too sty, during windy periods or immediately following a rain.
- 6. If permitted by the special provisions, wood deliciture (their match or excessor (their match may be used.)

14 100 PROTECTION DEBAW MILES

A. All seeded crear seeded with personnell gasses shall be unitarity mulched in a controllar larger transdately tolowing seeding and compacting operations, using at least 2 lons of show per

17 SIED PROTECTION (EXCELSION MILES)

A. Seed that be over as specified in Section 3.3. Within 21 hours offer covering of seed excelor must shall be uniformly appear of the rate of 2 has per core. The must may be appear hydrautock or by other acceptable methods. Should the invest the process in a dy controller. It and is oughly werted transdictely ofter placing. Engineer may require light rolling of the much to

1.8 1810 PROTECTION (WOOD CRUSSOS) RISES MUSICAL)

A. After the time has been applied and ground prepared as specified in Section 3.5, wood cellstore fiber much what be applied at a rate of 1,500 pounds per date in a makine of seed and fertible Hydroxic equipment shall be used for application of fertible, seed, and stary of the prepare required in appareter and force or contribution of options replace with our operating opposition and proposition of the opposition of the force of contribution opposition of the opposition opposition sufficient to opposition evaporate and harmogeneously man or other property to prevent indipposi-te that opposition of the opposition opposition of the opposition of the opposition opposition of the opposition oppos coposity of 1,000 gallery

distribution of all figurations in one operation by hydrotic seeding method specified hetels. Motivation dot be constituted in a move incommenced by the normalization for the skin motivation and the exposition of constitution and other of application that level in a return application of all matters of rates are been smooth predicted, bring the cooler of words upply as a goods exposition and paydram that spray prepared sections with a written value cost. The way shall be applied to a sweeping motion, to an arched stream to fall file rate, allowing wood filters to build upon each other unificial even poor is achieved.

- A. Sprigs that be placed of the date and rates as shown in section 2.6. The galgging method shall be by procedure galgging, hydropranting or low planter. Surgging procedure shall ensure even converge.
- Sprigs applied by procedurer over the else with a distributor or injectore-der shall be planted of the rates taked in section 2.6. Cover transdoort galga with show match transectately after broadcoot and water in immediately putting 2 hours.
- C. Sprige Installed by row planter wealting a nation-funce that severa 30 to 85% of the sprig with soll may use that graph with the discrete an expression of a principle of a provider with display of the function 5.8 where in immediately guiltier 1 hours.

3.10 SODOWG

- A. Sod shall be placed between throth lift and December 1st. However, it and it to be proped during periods of temperature over 1th degrees. If, the contractor shall take with once to question proceeding to enter local procedure, to enter set of thinks or protect.





- Sod that be main when talk and placed on most ground. The not shall be carefully placed by hand, beginning at the toe of stopes and working appeals. The length of the stop shall be at fight angle to the row of sothics water. All place took be highly rained and and place tools stoggered of least 12 inches. The sod shall be immediately preced threy this the ground by Straign or roting. All of joint between title with the oriented sof, for or dispertable pages with two pages or present increment. The cold wild be without, increal, required, regulated, or otherwise maintained, to incure the establishment of a contain healthy discid of given
- 0. Within 2 hours offer said not been placed, thoroughly extent or a retinum capith of if. After said and said horse offer, foil acaded debit to eleans good band between and and said and to remove capersons and traggalatine. Not acaded areas with a state not exceeding 100 bb. per fact of rate within tag dress and tot again or recessary to create a smooth even surface.

PART 4 - MAINTENANCE, WARRANTY AND ACCEPTANCE

- A. Mathemore dut condit of providing protection against halfs, watering to ensure utingary need germination and to seep enfance of an discrept, and regarding any sees alwayaged our result of construction operations or excess. Addresses and also halfs to be not briefled to watering, weeking, califording, removal of dead material, laws moving, facilities, and other reseasors operations.
- 8. The Contractor shall maintain all proposed plantings until the date of final acceptance by the Dener

- All grassed areas shall be grassineed by the Contractor to be other and healthy for a one-year person. Sum the other of adolated comparison beared by the Contract. Also impaction with the Contract while the controlled of the event of the motifierly partial to observate it and years nega-regarding. At the exist of the existing period, the sold with one withdrink of risking to the underlying and act with the loss of comparison were glowest from within the sold of their between
- ground area which is dead or not increting softlactory growth shall be replaced at Contractors expense of the end of wortstry period. At replacements shall be of original quality and of a date equal to object at place or these of the carries that Approximents required because of wordstors. exceede see at other couse beyond the contrard the Contractor are not part of this contract

- letine acceptance of seeding performed for the entablishment of permanent vegetation, Contractor will be required to produce a subfactory stand of permitting gas versue not system dolt be developed sufficiently to sorive day period-and white reaction and be objected in establishment in gring.
- A minimum coverage of 80% density over 100% of the disturbed ones is required for seeded areas before project acceptance, 1ppg and and orders shall have 16 % coverage over 100% of the disturbed ones principal acceptance.

BND OF SECTION





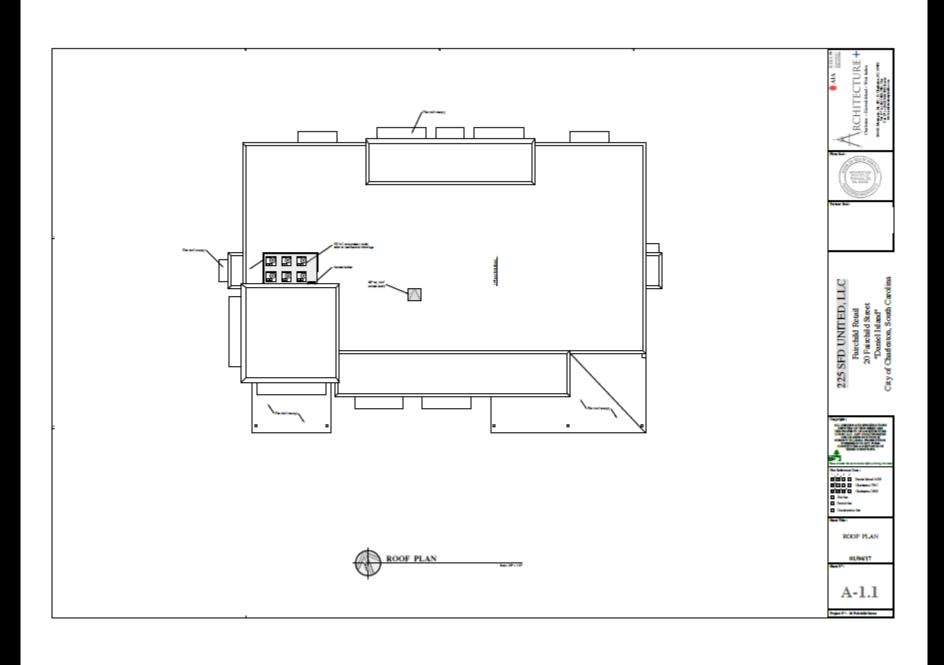


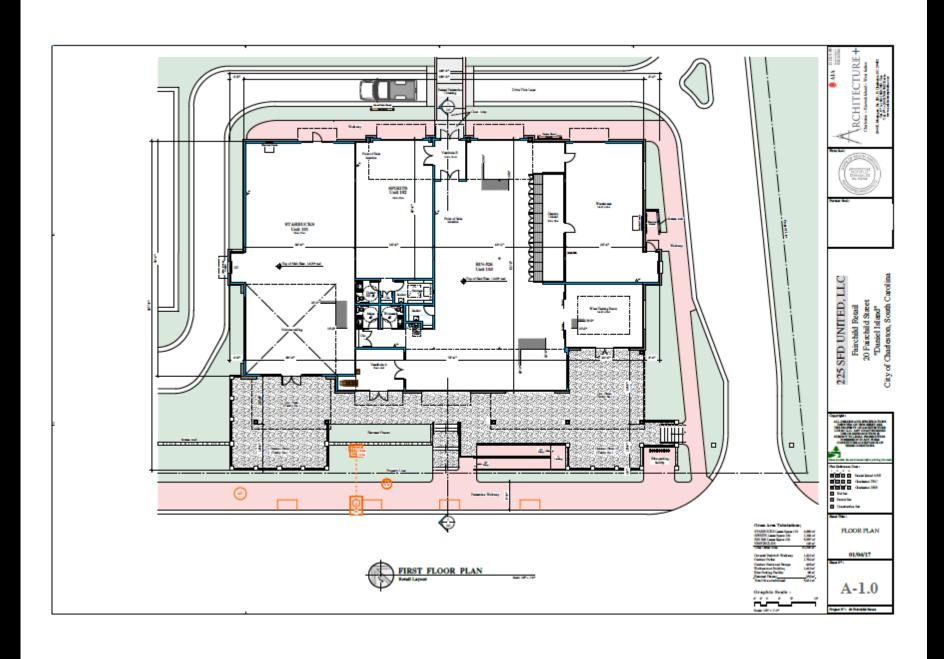


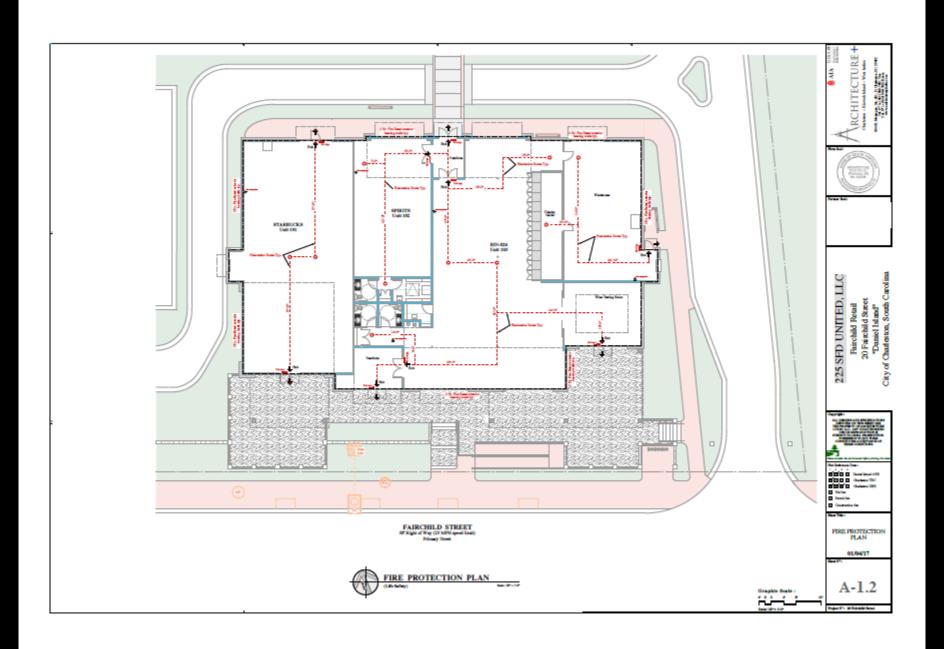
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RCHITECTURE+

225 SFD UNITED, LLC Fairchid Retail 20 Fairchid Street "Daniel Island" City of Charleston, South Carolina

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Projective of Patricial

Fairchild Street (north)







Fairchild Street (south)









225 SFD UNITED, LLC

RCHITECTURE+







Fairchild Street (south) **Central Island Square**















Fairchild Street (east) REFUEL



225 SFD UNITED, LLC



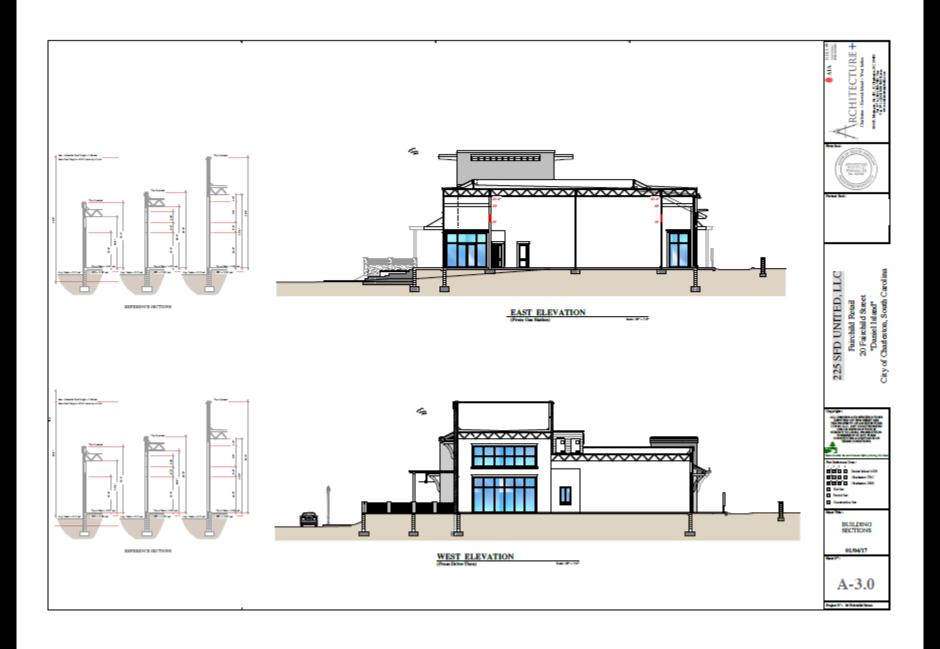


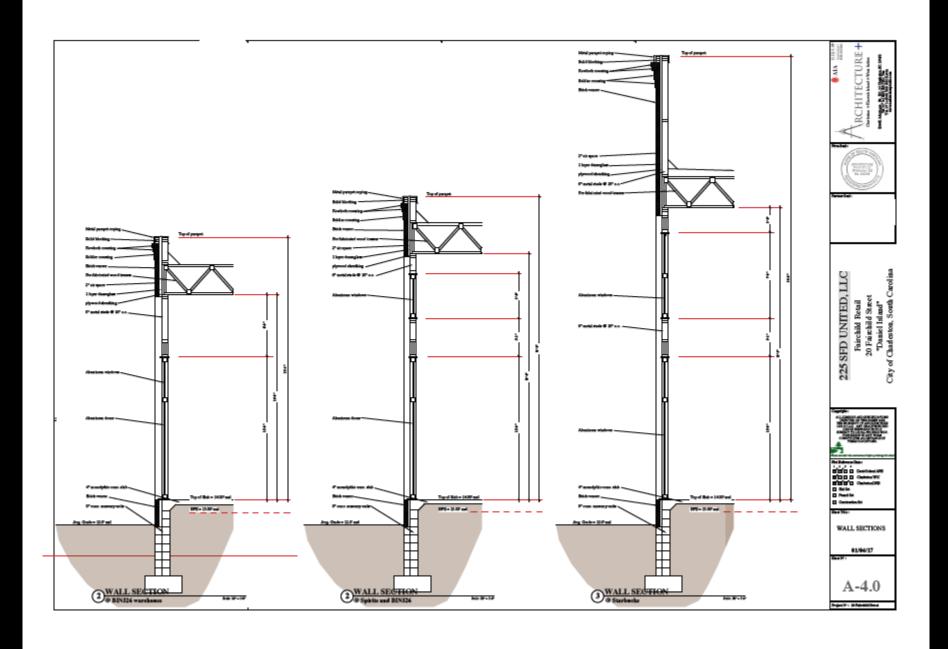




Seven Farms Drive (west) Examples of tower elements at driveway entrances







Agenda Item 2:

1439 Folly Road

Request conceptual approval for new construction of 3-story storage building and additions to 3 existing storage buildings as per documentation submitted.

PUBLIC STORAGE

1439 FOLLY ROAD
CHARLESTON, SC 29412

VICINITY MAP

DRAWING INDEX

CV01	COVERSHEET
C1	SITE PLAN - PRELIMINARY
L1	LANSCAPE PLAN - PRELIMINARY
L2	CONCEPT PLANT PALETTE
A1.01	BUILDING 1 - FLOOR PLAN 1ST FLOOR
A1.02	BUILDING 1 - FLOOR PLAN 2ND FLOOR
A1.03	BUILDING 1 - FLOOR PLAN 3RD FLOOR
A1.04	BUILDING 1 - FLOOR PLAN COMPARISON
A1.05	BUILDING 1 - ROOF PLAN
A1.06	BUILDINGS 2 THRU 5 - FLOOR PLANS
A2.01	EXTERIOR NORTH & EAST ELEVATIONS - BLDG 1
A2.01A	EXTERIOR SOUTH & WEST ELEVATIONS - BLDG 1
A2.02	EXTERIOR ELEVATIONS - BLDG 2
A2.03	EXTERIOR ELEVATIONS - BLDG 3
A2.04	EXTERIOR ELEVATIONS - BLDG 4
A2.05	EXTERIOR ELEVATIONS - BLDG 5
A3.01	EXISTING CONDITIONS IMAGES
A3.02	STREETVIEW OVERLAY PERSPECTIVE
A4.01	PERSPECTIVE RENDERINGS - 3 STORY BLDG

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REMODEL / EXPANSION
1439 FOLLY ROAD
CHARLESTON, SC. 29412

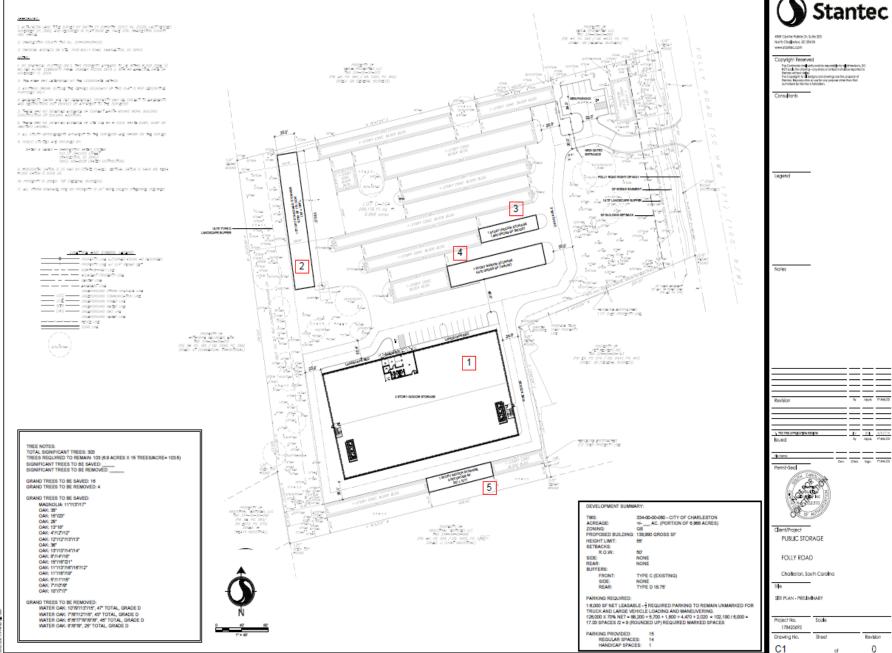
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KVW

COVERSHEET

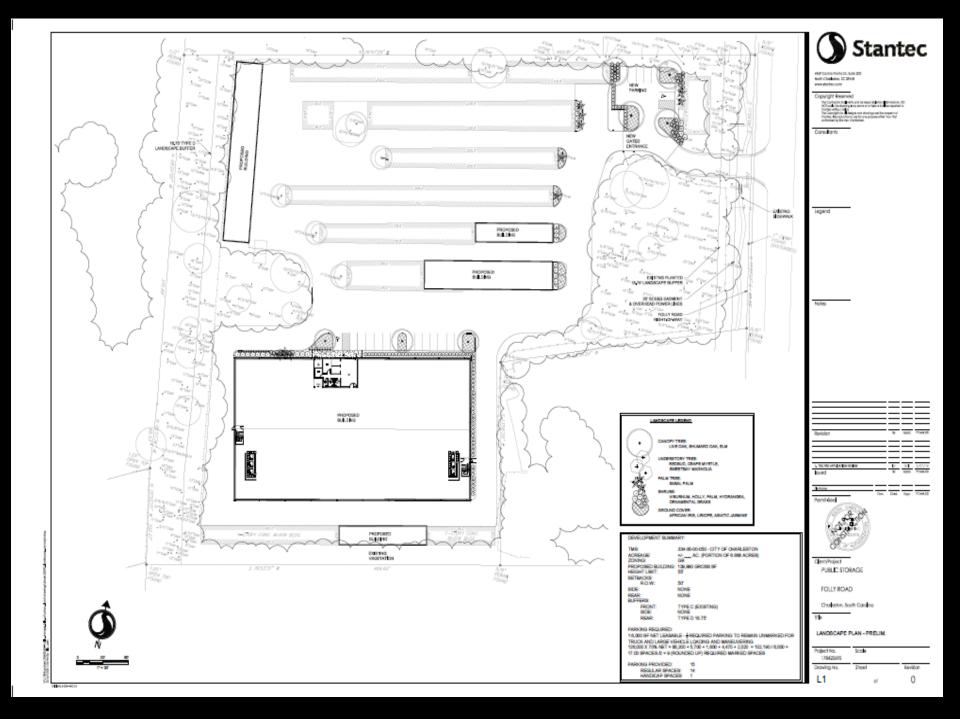
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FOLLY ROAD

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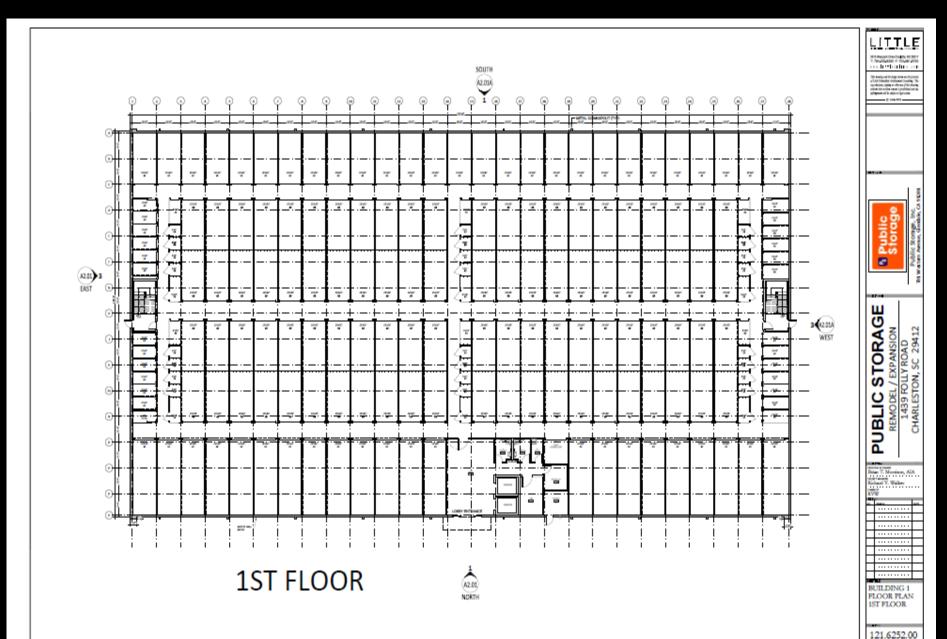
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CONCEPT PLANT PALETTE

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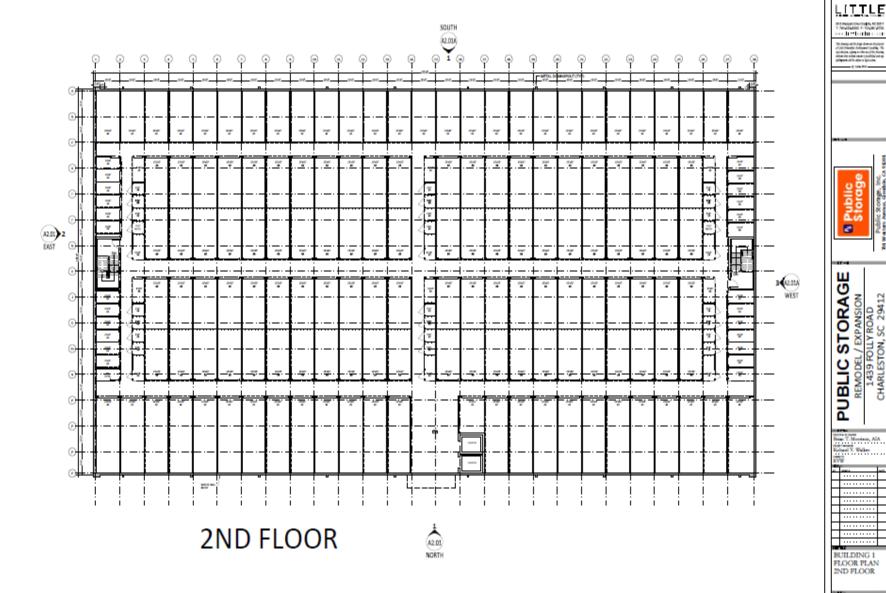
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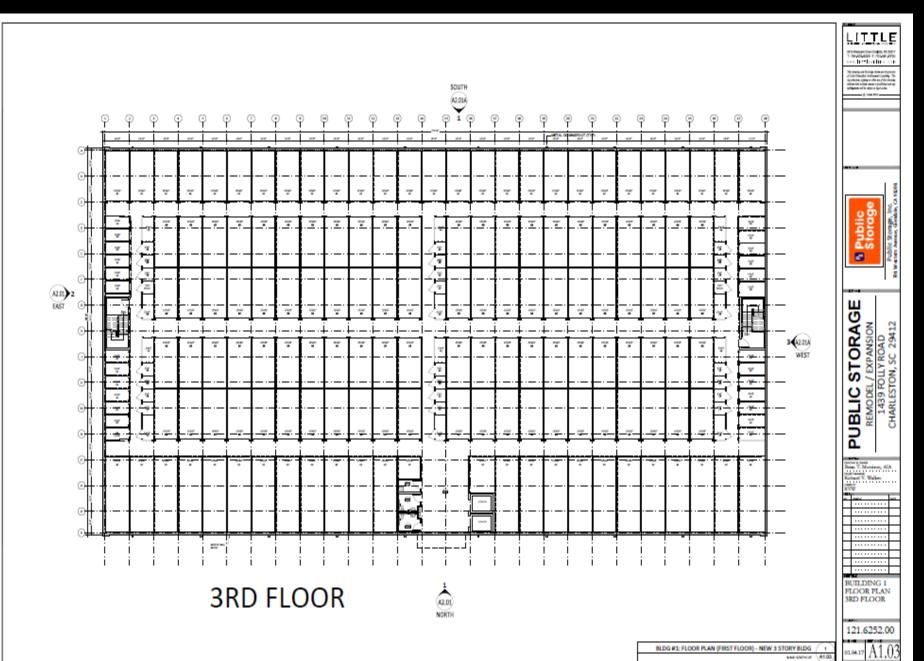


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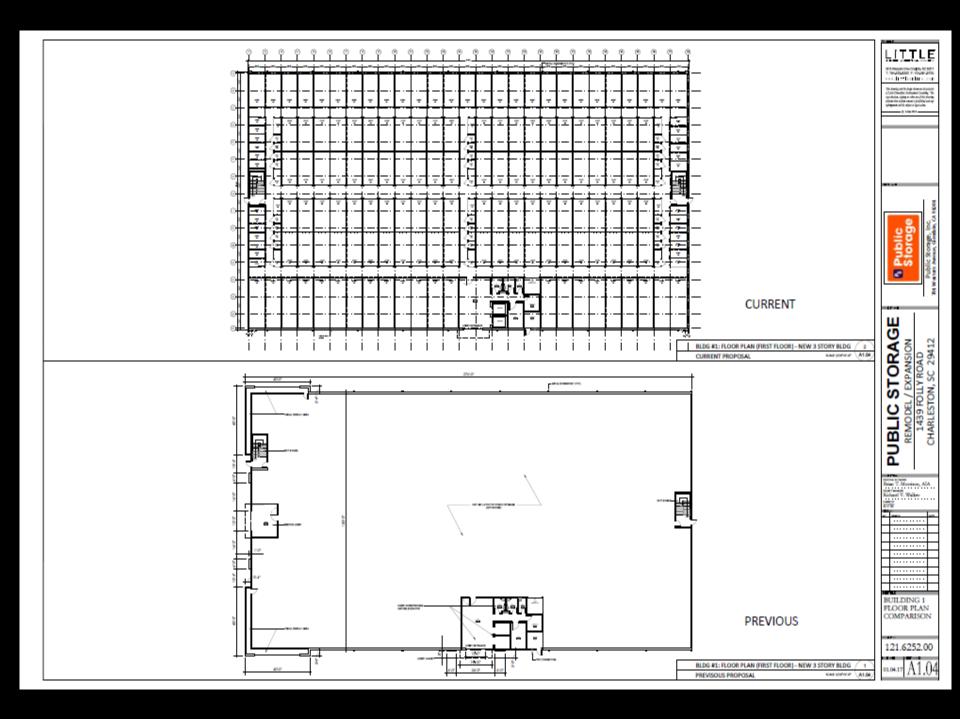
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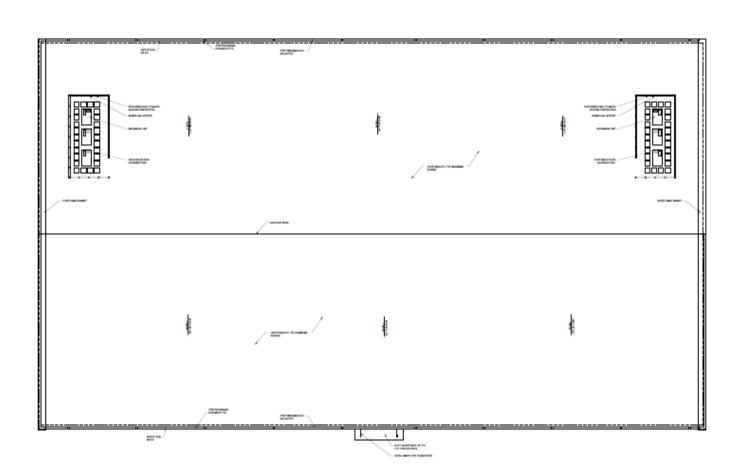
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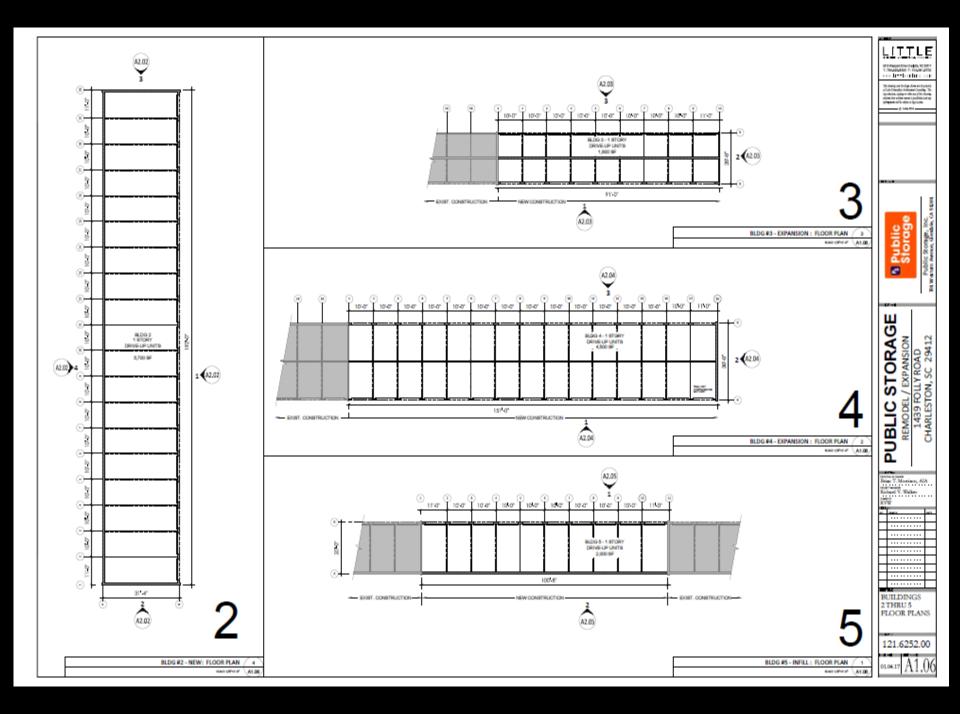
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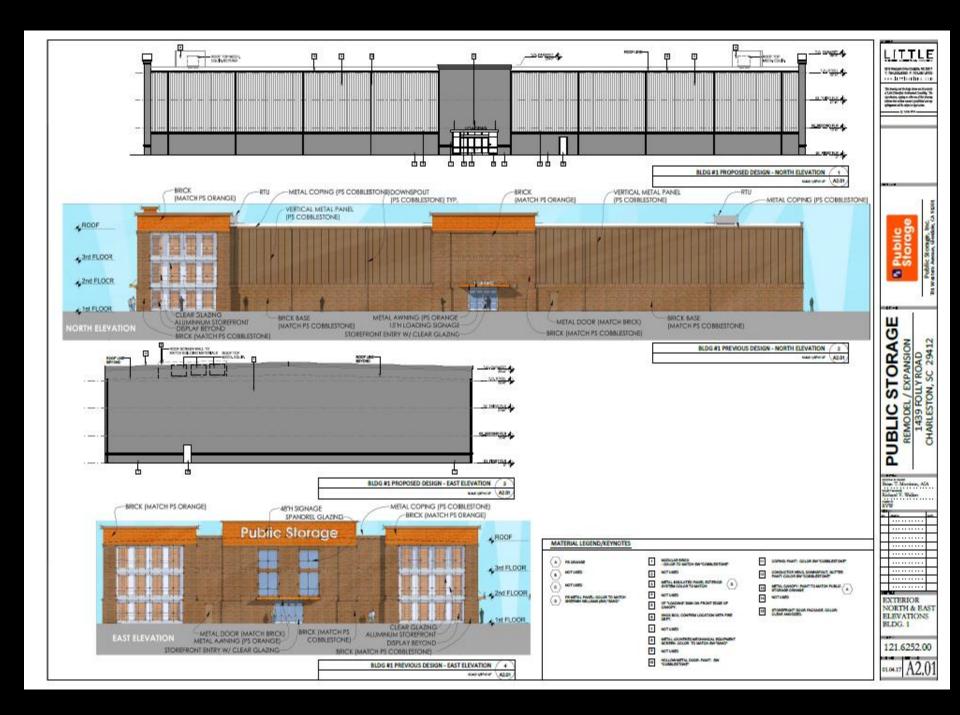
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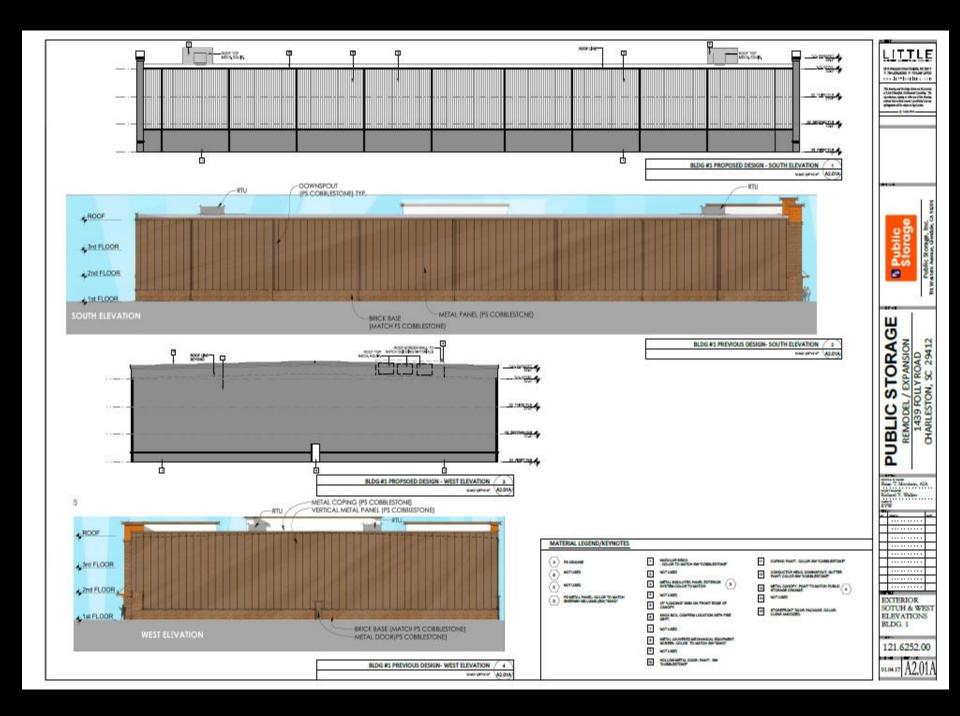
ROOF PLAN

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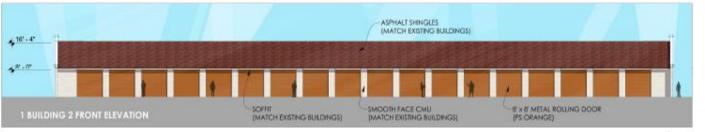
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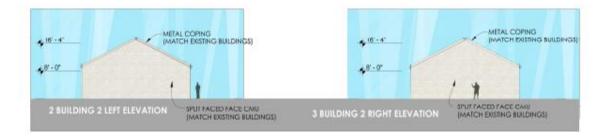


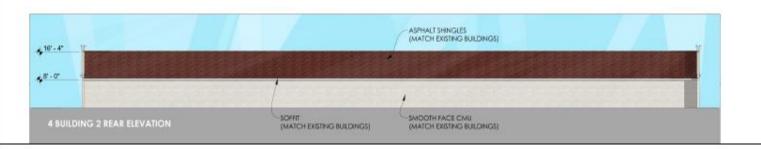












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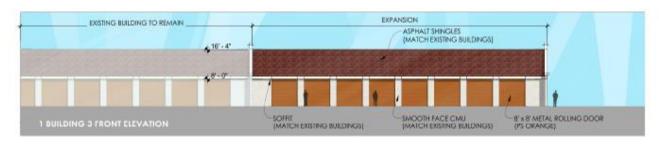
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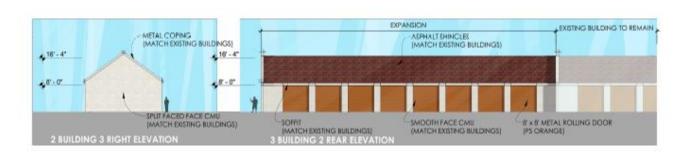
EXTERIOR ELEVATIONS DRIVE-UP BLDG 2

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1439 FOLLY ROAD
CHARLESTON, SC 29412

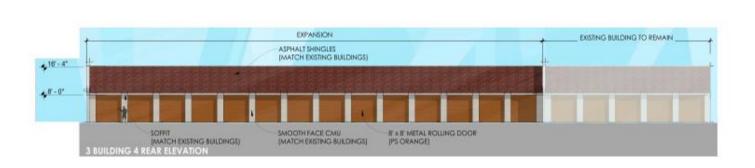
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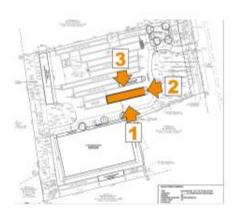
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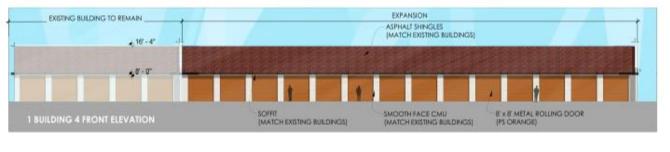
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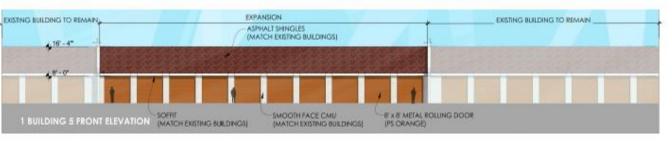
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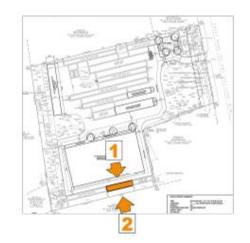
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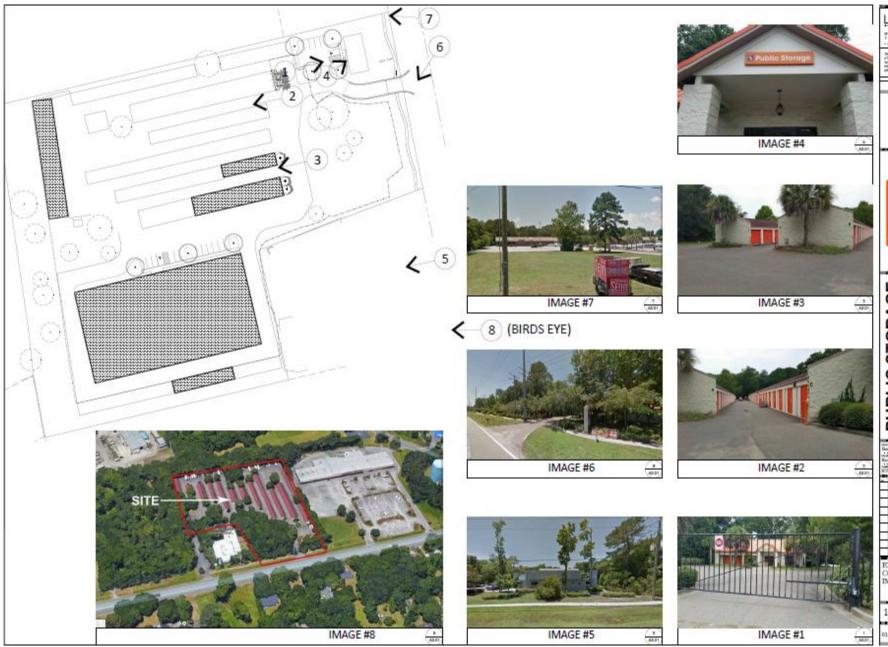
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CHARLESTON, SC 29412

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EXISTING CONDITION IMAGES

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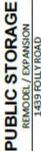
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1439 FOLLY ROAD
CHARLESTON, SC 29412

STREETVIEW OVERLAY PERSPECTIVE

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PROPOSED BLDG. #1 NORTH ELEVATION PERSPECTIVE RENDERING



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REMODEL / EXPANSION 1439 FOLLY ROAD CHARLESTON, SC 29412

PERSPECTIVE RENDERINGS 3 STORY BLDG

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PREVIOUS BLDG. #1 NORTH ELEVATION PERSPECTIVE RENDERING

KEYPLAN 2